

**BETTER HOMES CONSTRUCTION**

CANYON TRAILS SUB'D #1  
 BLOCK 15 LOT 25B  
 520 FALLING LEAF LANE  
 TWIN FALLS, IDAHO

LOT SIZE 8039 S.F.  
 ZONE C1  
 CODE COMPLIANCE 2018  
 NEW CONSTRUCTION  
 SINGLE FAMILY DWELLING  
 ROOF SURFACE AREA 3916 SF



**GENERAL SITE / LOT NOTES:**

THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODES AND CURRENT ADOPTED LOCAL CODES.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES. CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).

**GRADING NOTES:**

VERIFY ALL UTILITIES BEFORE DIGGING. HOOK UP WATER AND SEWER SERVICES TO EXISTING TAP UNLESS SEPTIC SYSTEM AND WELL ARE TO BE INSTALLED.

GRADE LOT IN SUCH A MANNER THAT RUN-OFF FROM HOUSE DRAINS AWAY FROM FOUNDATION AND RETAINED ON THE PROPERTY PER CODE REQUIREMENTS.

FINISHED FLOOR LEVEL TO BE 15" ABOVE CURB IF APPLICABLE.

**BUILDING ENERGY CODE COMPLIANCE**

HEAT LOSS CALCULATIONS SHALL COMPLY WITH THE REQUIREMENTS OF REGIONAL AND LOCAL CODES. PORCHES, DECKS, FOUNDATION, FIREPLACE ENCLOSURES, AND GARAGE AREAS NOT INCLUDED IN LIVING AREA. ALL EXHAUST FANS TO BE VENTED DIRECTLY TO THE EXTERIOR. ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH CAULK OR FOAM.

**PRESCRIPTIVE ENERGY CODE**

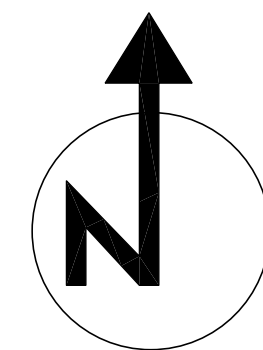
- \* R-38 IN CEILING
- \* R-20 IN WALLS
- \* R-38 MIN. IN ATTIC
- \* .35 MIN. LOW-E WINDOWS

**SINGLE FAMILY RESIDENCE:**

MAIN FLOOR	1801 SF
FRONT PORCH	190 SF
REAR PORCH	298 SF
GARAGE	645 SF
TOTAL	2934 SF

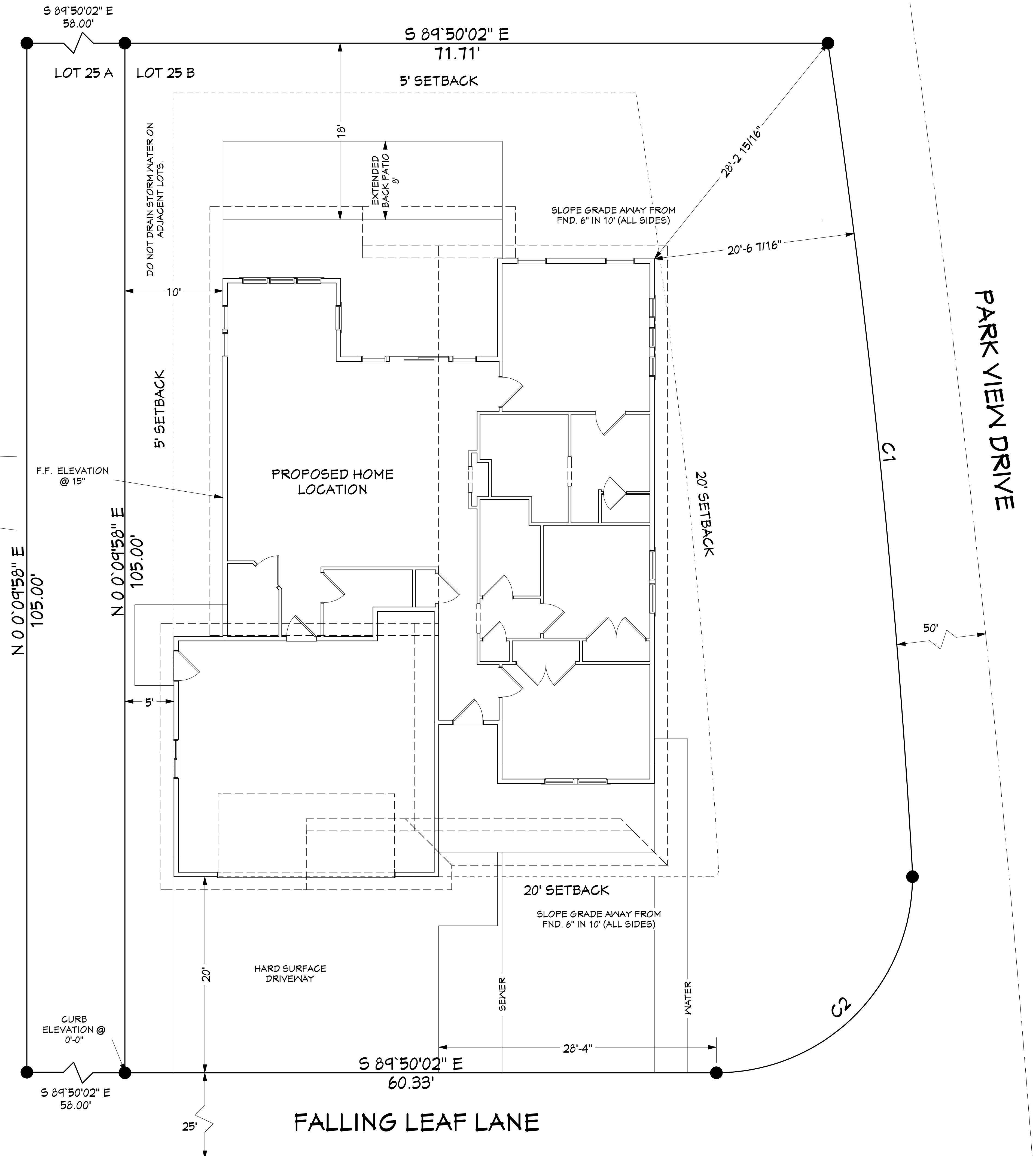
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**SITE PLAN**

SCALE: 3/16" = 1' - 0"



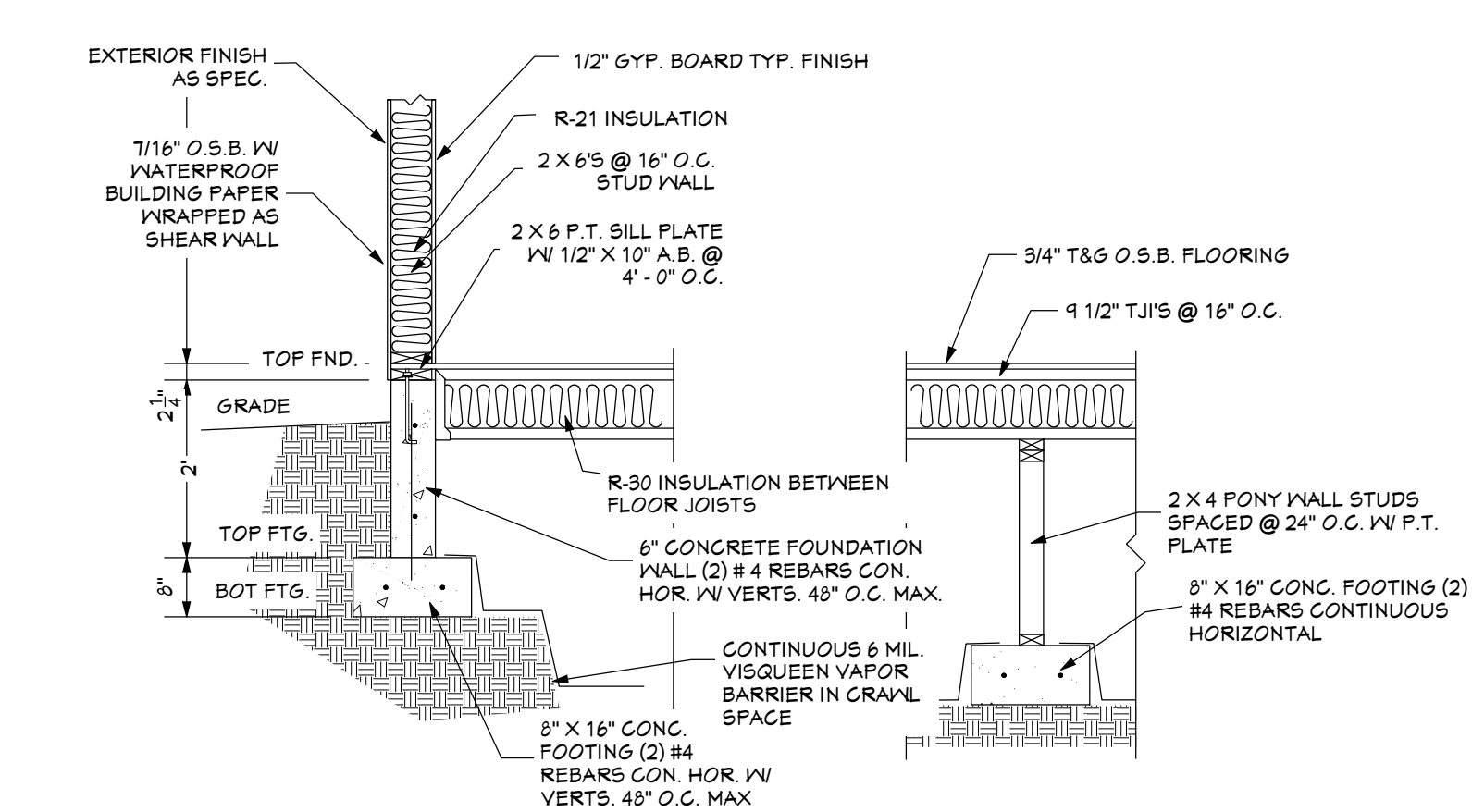
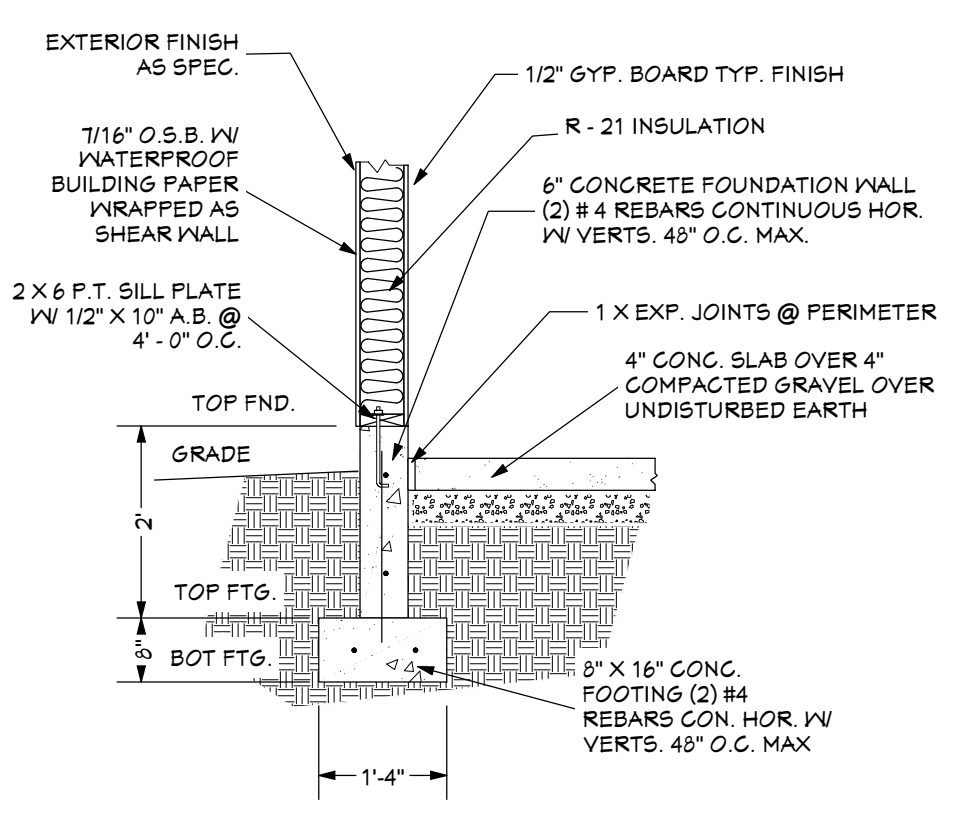
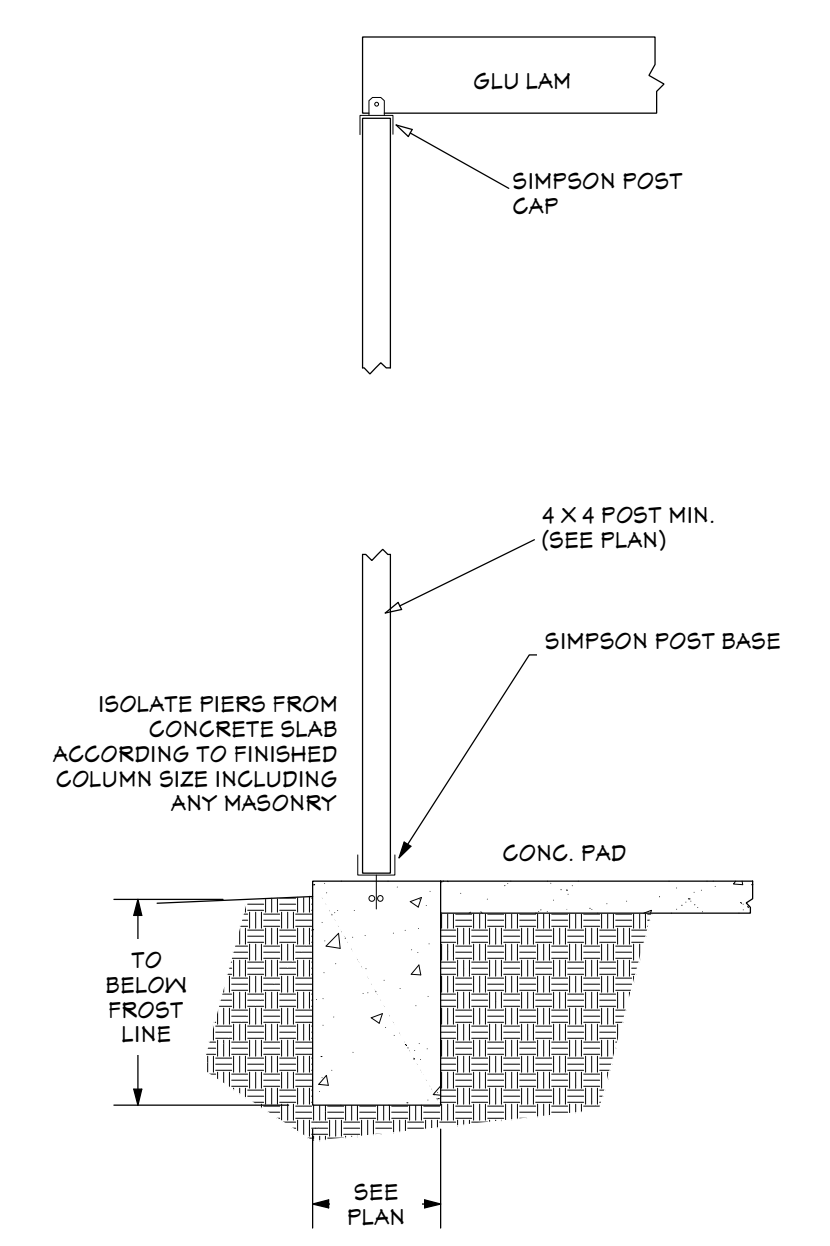
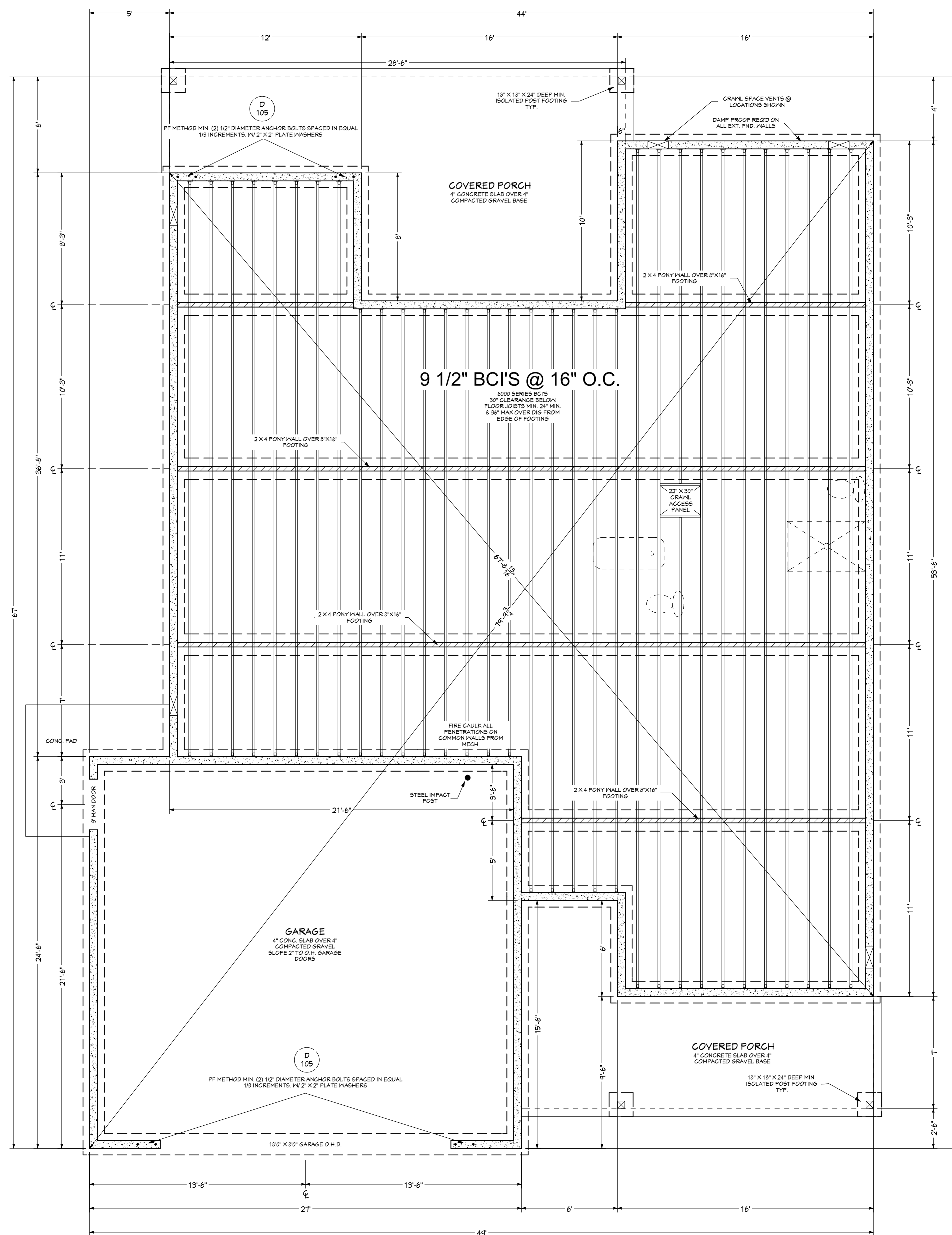
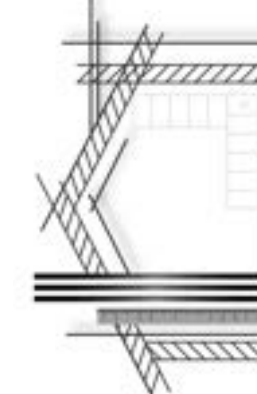
SHEET NUMBER  
**1**

SCALE @ 24" X 36"  
 DATE: DEC. 2022  
 DRAWN BY: C.J.  
 22-16491 LOT 25B.PL

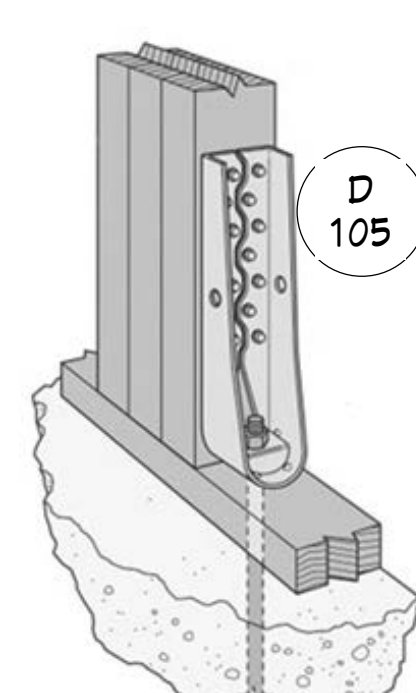
**SITE PLAN**

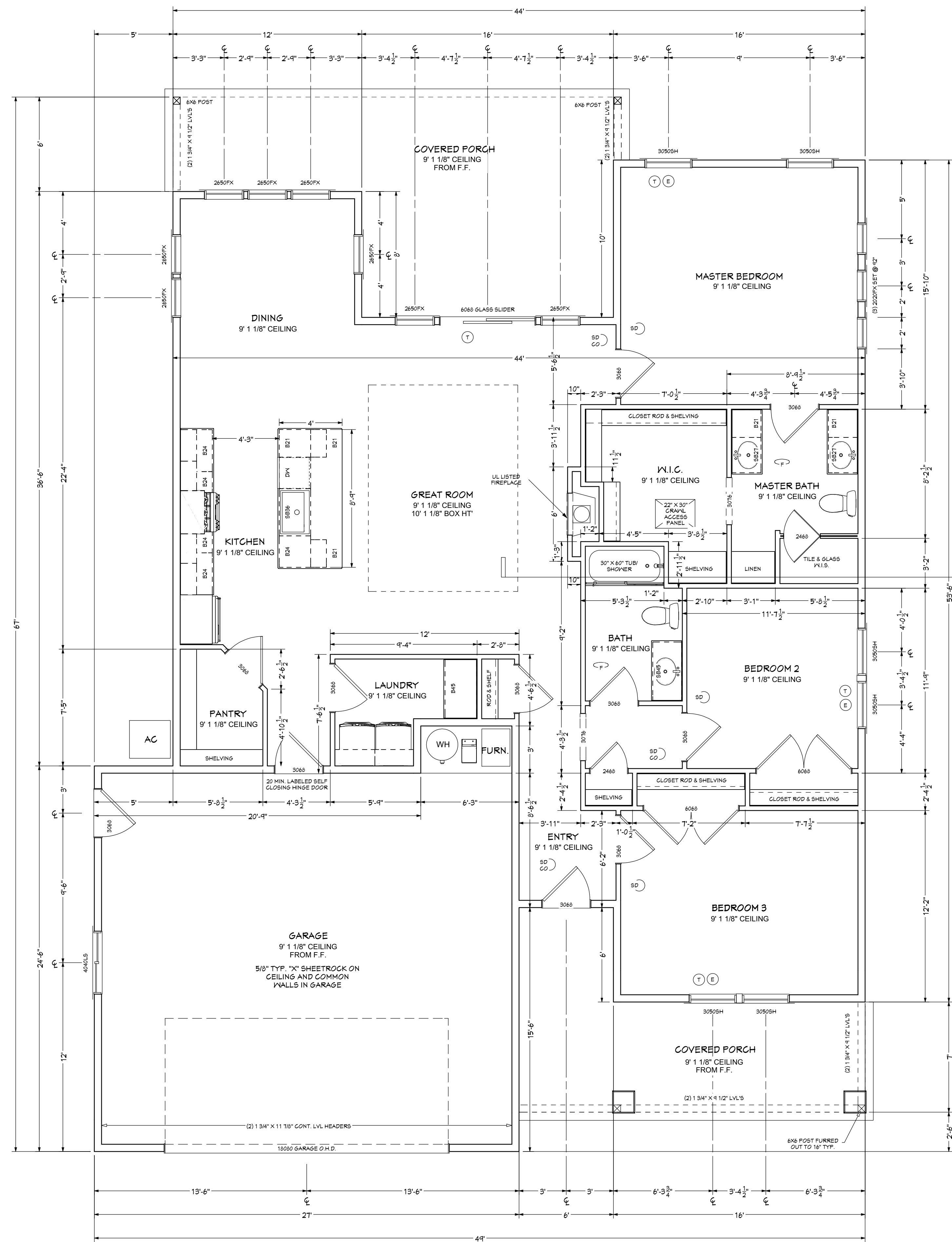
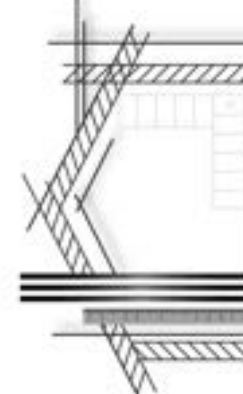
**BETTER HOMES CONSTRUCTION**  
 CANYON TRAILS SUB'D #1  
 TWIN FALLS, IDAHO

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 Drafting  
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**FOUNDATION NOTES:**  
VERIFY ALL WINDOW AND DOOR ROUGH OPENING SIZES BEFORE FORMING BLOCK OUTS AS NECESSARY.  
PROVIDE EXPANSION JOINTS AS NECESSARY IN ALL FLATWORK.  
COORDINATE ALL SIDEWALK LOCATIONS WITH HOMEOWNER.  
ALL FOUNDATION WALLS SHALL BE MIN. 3000 # / SQ. IN. COMPRESSIVE STRENGTH @ 28 DAYS. ANY PORCHES, PARKING SLABS, STEPS AND GARAGE FLOOR SHALL BE MIN. 3500 # / SQ. IN. COMPRESSIVE STRENGTH @ 28 DAYS.  
1/2" X 10" ANCHOR BOLTS @ 4' O.C. MAX. EACH SECTION OF SILL PLATE MUST HAVE MIN. (2) ANCHOR BOLTS MAX. DISTANCE FROM END OF ANY SILL PLATE SECTION TO ANCHOR BOLT SHALL BE MIN. 12".  
PONY WALLS TO BE 2 X 4'S @ 24" O.C. W/ PRESSURE TREATED SILL PLATE AND DOUBLE TOP PLATE.  
ROOF / SECOND FLOOR BEARING AND PONY WALLS TO BE SOLID BLOCKED IF RUNNING PERPENDICULAR TO JOISTS AND FRAMED TO SUBFLOOR WHEN RUNNING PARALLEL TO JOIST.  
INSTALL TJ'S PER MANUFACTURERS RECOMMENDATIONS INCLUDING ALL BRIDGING AND BRACING.  
ANY NAILS THAT PENETRATE CONCRETE OR PRESSURE TREATED LUMBER TO BE HOT DIPPED GALVANIZED OR EQUAL.  
EXCAVATE TO MIN. 30" BELOW JOISTS. INSTALL 6 MIL. VISQUEEN VAPOR BARRIER IN CRAWL SPACE.  
SEE BRACING WALL PANEL FOR HOLD DOWN LOCATIONS AND DESCRIPTIONS.  
VENTING RATIO TO BE 1 SQ. FT. VENT / 1500 SQ. FEET OF CRAWL SPACE.  
ALL OPENINGS IN THE EXT. BLDG. ENVELOPE SHALL BE SEALED AGAINST AIR INFILTRATION. THE FOLLOWING AREAS MUST BE SEALED.  
\* JOINTS AROUND WINDOW AND DOOR FRAMES  
\* JOINTS BETWEEN WALL CAVITY AND WINDOW  
\* JOINTS BETWEEN WALL AND FOUNDATION  
\* JOINTS BETWEEN WALL AND ROOF  
\* UTILITY PENETRATIONS THROUGH EXTERIOR WALLS  
GRADE SLOPE: 6" DROP WITHIN FIRST 10' FROM FOUNDATION.





MAIN FLOOR

SCALE: 1/4" = 1' - 0"

MISCELLANEOUS NOTES:

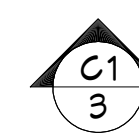
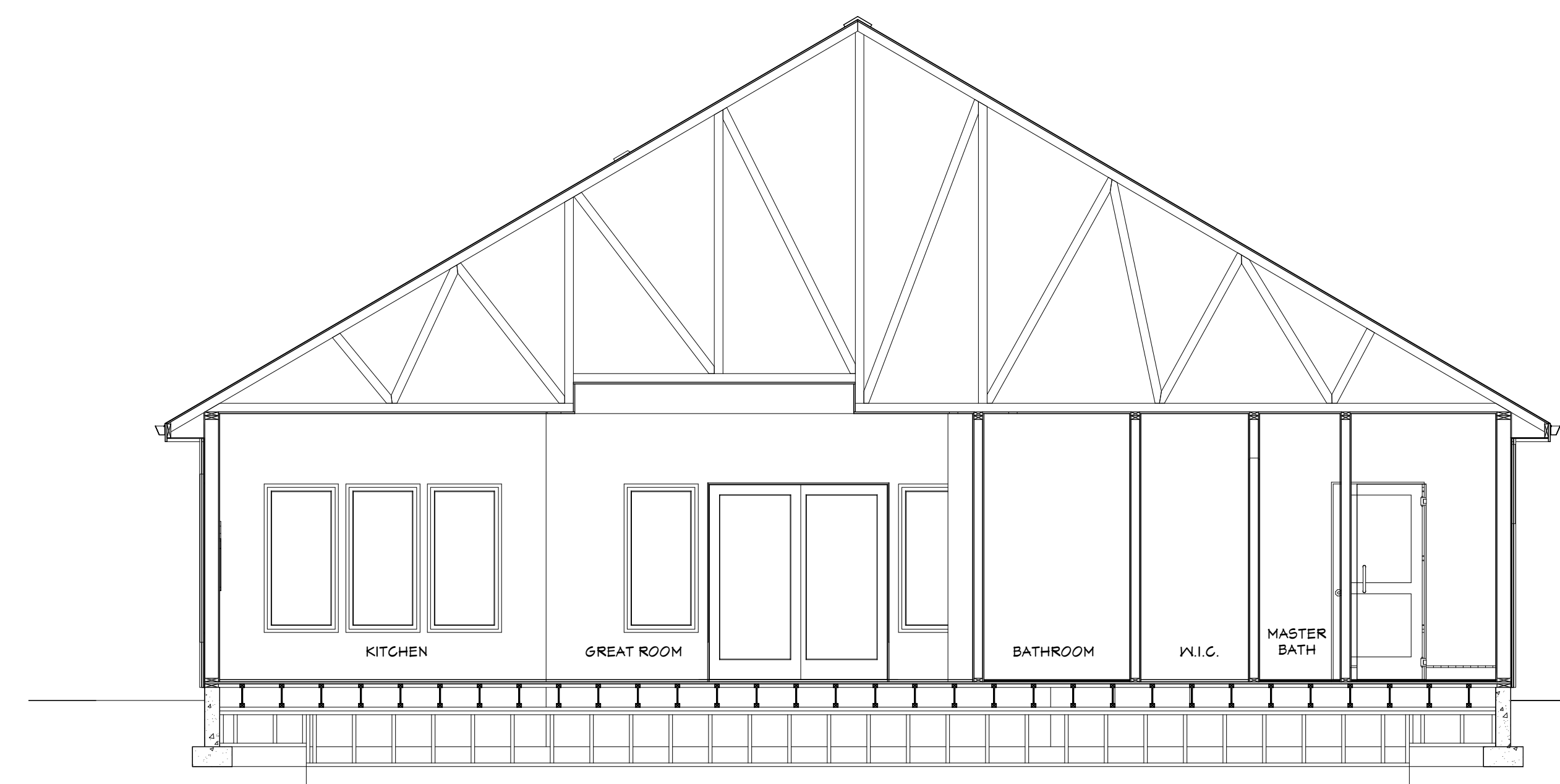
- DESIGNER ASSUMES NO RESPONSIBILITY FOR STRUCTURAL INTEGRITY. VERIFY ALL STRUCTURAL SPECIFICATIONS W/ MANUFACTURER, TRUSS VENDOR OR ENGINEER.
- COORDINATE ALL INTERIOR AND EXTERIOR FINISH, MATERIALS AND COLORS WITH HOME OWNER.
- KITCHEN AND BATHROOM DESIGNS AND LAYOUT AS PER. OWNER.
- BATH AND RANGE HOOD FANS INDICATED SHALL VENT TO OUTSIDE AND MEET ALL REQUIREMENTS OF THE 2018 IRC. AND BE SMOOTH PIPING WITH MIN. 50 CFM.
- VENT DRYER EXHAUST TO DUCT IN WALL AND VENT OUTSIDE.
- ALL WINDOW AND EXTERIOR DOOR HEADERS ARE (2) 2 X 10'S OR EQUIVALENT UNLESS OTHERWISE NOTED.
- WINDOWS MARKED AS EGRESS SHALL MEET THE 2018 IRC. MIN. REQUIREMENT.
- WINDOWS SET @ 80° UNLESS OTHERWISE NOTED.
- THE UPC REQUIRES A CRAWL SPACE ACCESS WITHIN 20 FEET OF ALL UNDER FLOOR CLEANOUTS.
- ALL CRAWL SPACE AND ATTIC OPENINGS TO BE 22" X 30" UNLESS OTHERWISE NOTED.
- 5/8" TYP. "X" SHEETROCK ON CEILINGS AND WALLS BETWEEN GARAGE AND LIVING SPACES INCLUDING BONUS ROOMS.
- GARAGE DOOR HEADERS TO BE INSTALLED PER WALL BRACING SCHEDULE. (VERIFY SIZING W/ TRUSS VENDOR OR ENGINEER ON OPENINGS WITH ADDITIONAL LOAD ABOVE HEADERS SUCH AS DORMERS AND SECOND FLOORS ETC.)
- ENTRY DOORS FROM GARAGE TO HOUSE TO BE 20 MIN. LABELED SELF CLOSING HINGES.
- FIRE CAULK ALL PENETRATIONS ON COMMON WALLS FROM MECHANICAL.
- ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE G.F.I. OR G.F.I.C. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.
- INSULATE ALL ACCESS DOORS/ HATCHES TO CRAWL SPACES AND ATTICS TO THE EQUIVALENT RATING OF THE WALL, FLOOR OR CEILING THROUGH WHICH THEY PENETRATE. UNO ON PLANS.
  - ATTIC R-38
  - WALLS R-20
  - FLOORS R-30
- PROVIDE IMPACT PROTECTION PER IRC. CODE IF MECHANICAL IS IN LINE OF VEHICLE PARKING IN GARAGE.

LEGEND:

- SD SMOKE DETECTOR
- CO CARBON MONOXIDE / SMOKE DETECTOR
- FAN UNIT
- T TEMPERED GLASS
- E EGRESS WINDOW

SINGLE FAMILY RESIDENCE:

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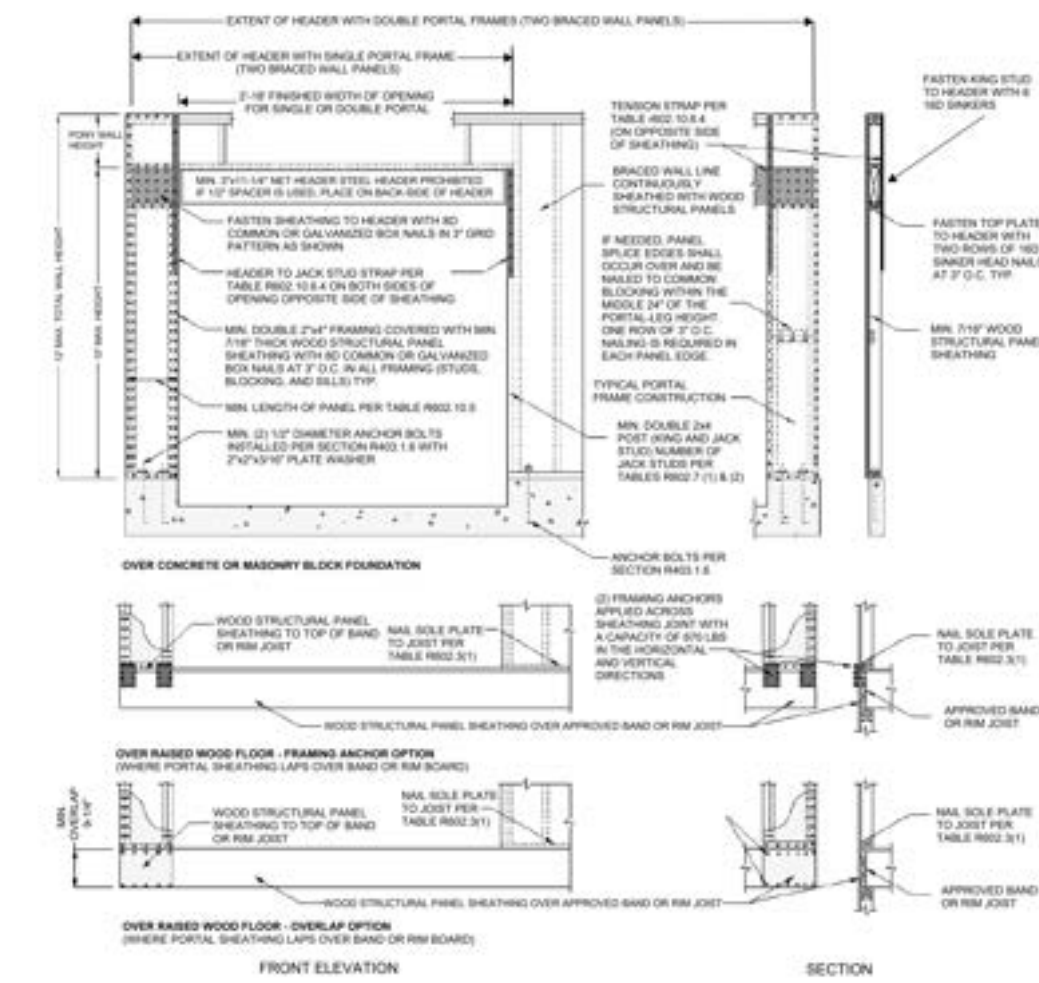


CROSS SECTION

FOR ILLUSTRATION ONLY N.T.S.

METHOD CS-PF

Figure R602.10.6.4 – CONTINUOUSLY SHEATHED PORTAL FRAME



METHOD (See Table R602.10.4)	MINIMUM LENGTH*					CONTRIBUTING LENGTH (feet)	
	WALL HEIGHT						
	8 feet	9 feet	10 feet	11 feet	12 feet		
DWB, WSP, SFB, PFC, PCP, HPS, BV-WSP	48	48	48	53	58	Actual <sup>a</sup>	
GB	48	48	48	53	58	Double w/d - Actual	
LIB	55	62	69	NP	NP	Actual <sup>a</sup>	
ABW	SDC A, B and C, ultimate design wind speed < 140 mph	28	32	34	38	42	48
	SDC D, D <sub>s</sub> and D <sub>s</sub> , ultimate design wind speed < 140 mph	32	32	34	NP	NP	
CS-G	Adjacent clear opening height (ft/min)	24	27	30	33	36	Actual <sup>a</sup>
CS-WSP, CS-SFB	e 64	24	27	30	33	36	Actual <sup>a</sup>
	68	26	27	30	33	36	
	72	27	27	30	33	36	
	76	30	29	30	33	36	
	80	32	30	30	33	36	
	84	33	32	32	33	36	
	88	38	33	33	33	36	
	92	43	37	33	35	36	
	96	48	41	36	36	36	
	100	—	44	40	38	38	
	104	—	49	43	40	39	
	108	—	54	46	43	41	
	112	—	—	50	45	43	
	116	—	—	55	48	45	
120	—	—	60	52	48		
124	—	—	—	56	51		
128	—	—	—	61	54		
132	—	—	—	66	58		
136	—	—	—	—	62		
140	—	—	—	—	66		
144	—	—	—	—	72		
METHOD (See Table R602.10.4)	Portal header height						
	8 feet	9 feet	10 feet	11 feet	12 feet		
	24	24	24	Not e	Not e	48	
PFH	Supporting roof only	24	24	24	Not e	Not e	48
PFH	Supporting one story and roof	24	27	30	Not e d	Not e d	1.5 x Actual <sup>b</sup>
CS-PF	SDC A, B and C	16	18	20	Not e	Not e	1.5 x Actual <sup>b</sup>
	SDC D, D <sub>s</sub> and D <sub>s</sub>	24	24	24	Not e	Not e	Actual <sup>a</sup>

Linear interpolation shall be permitted.  
Use the actual length when it is greater than or equal to the minimum length.  
Maximum header height for PFH is 10 feet in accordance with Figure R602.10.6.2, but wall height shall be permitted to be increased to 12 feet with pony wall.  
Maximum header height for CS-G is 10 feet in accordance with Figure R602.10.6.3, but wall height shall be permitted to be increased to 12 feet with pony wall.  
Maximum header height for CS-PF is 10 feet in accordance with Figure R602.10.6.4, but wall height shall be permitted to be increased to 12 feet with pony wall.

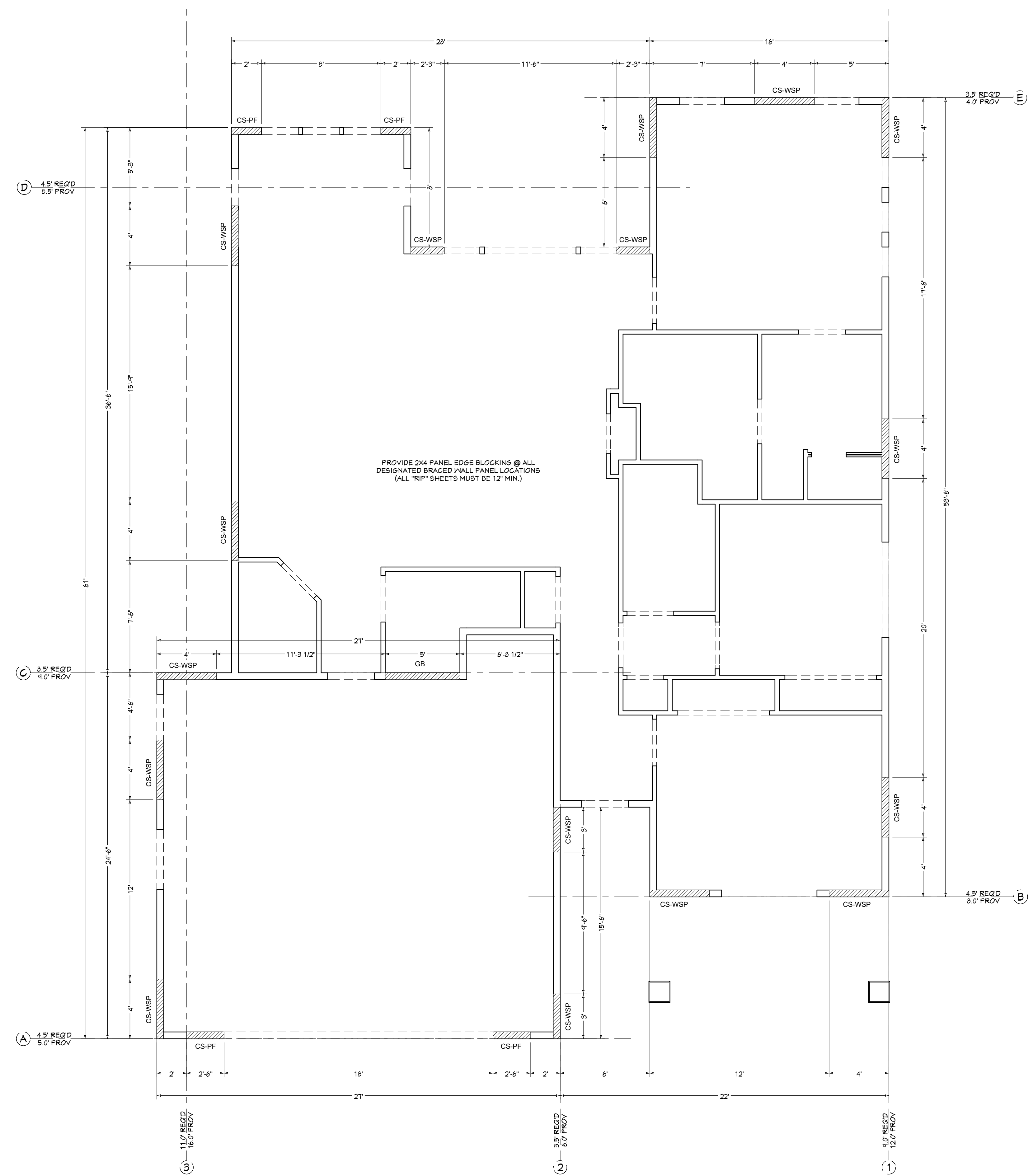
TABLE R602.10.4 - continued

METHOD, MATERIAL	MINIMUM THICKNESS	FIGURE	CONNECTION CRITERIA*	
			Fasteners	Spacing
PFH Portal frame with hold-downs	3/4"		See Section R602.10.6.2	See Section R602.10.6.2
PFC Portal frame at garage	3/8"		See Section R602.10.6.3	See Section R602.10.6.3
CS-WSP Continuously sheathed wood structural panel	3/4"		Exterior sheathing per Table R602.3(3)	6" edges 12" field
			Interior sheathing per Table R602.3(1) or R602.3(2)	Varies by fastener
CS-G <sup>b</sup> Continuously sheathed wood structural panel adjacent to garage opening	3/4"		See Method CS-WSP	See Method CS-WSP
CS-PF Continuously sheathed portal frame	3/8"		See Section R602.10.6.4	See Section R602.10.6.4
CS-SFB <sup>c</sup> Continuously sheathed structural fiberboard	1/2" or 5/8" for maximum 16" stud spacing		1 1/2" long x 6 1/2" dia. (for 1/2" dia. sheathing) 1 1/2" long x 8 1/2" dia. (for 3/4" dia. sheathing) galvanized roofing nails or #4 common	3" edges 6" field

For S1: 1 inch = 25.4 mm, 1 foot = 304.8 mm, 1 mile per hour = 0.447 m/s.  
NP = Not Permitted.  
\* EXPOSURE CATEGORY B  
• 30-FOOT MEAN ROOF HEIGHT  
• 10-FOOT WALL HEIGHT  
• 2 BRACED WALL LINES

TABLE R602.10.3(1)

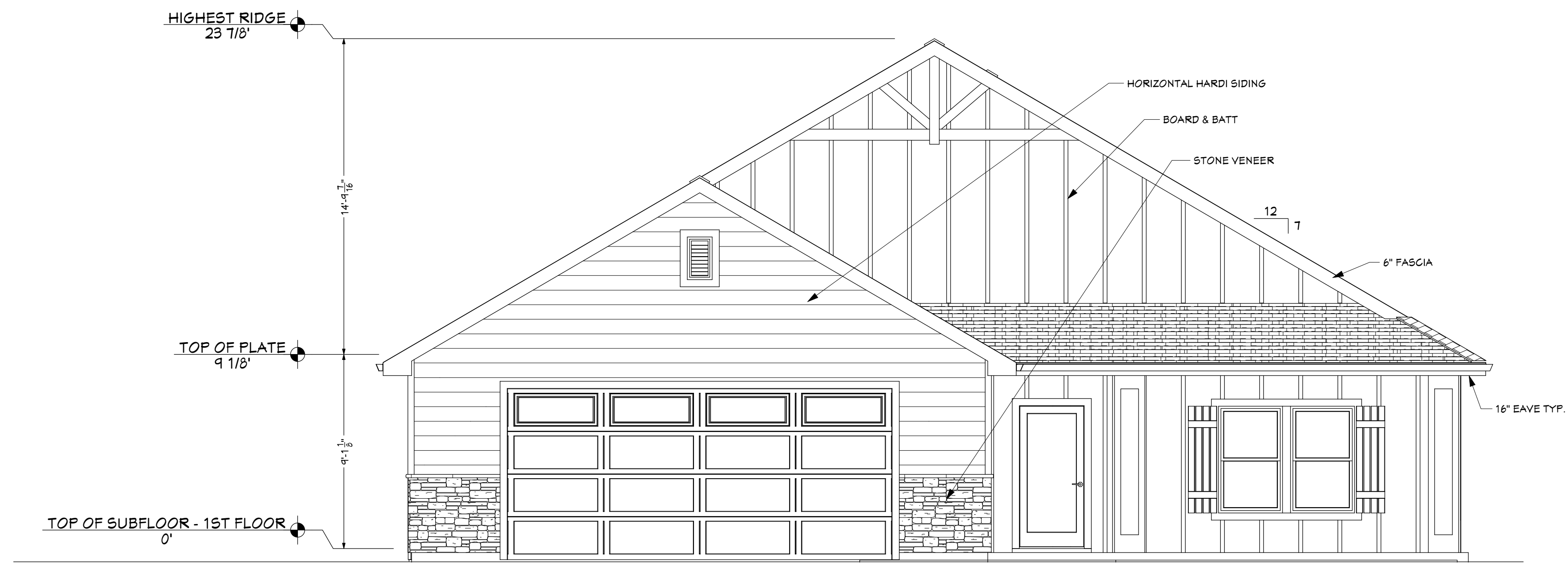
Ultimate Design Wind Speed (mph)	Story Location	Braced Wall Line Spacing <sup>a</sup> (feet)	MINIMUM TOTAL LENGTH (FEET) OF BRACED WALL PANELS REQUIRED ALONG EACH BRACED WALL LINE*				
			Method LIB <sup>b</sup>	Method GB	Methods DWB, WSP, SFB, PBL, PCP, HPS, BV-WSP, ABW, PFH, PFC, CS-SFB	Methods CS-WSP, CS-G, CS-PF	
10		10	3.5	3.5	2.0	2.0	2.0
		20	6.5	6.5	3.5	3.5	3.5
		30	9.5	9.5	5.5	5.5	4.5
		40	12.5	12.5	7.0	7.0	6.0
		50	15.0	15.0	9.0	9.0	7.5
		60	18.0	18.0	10.5	10.5	9.0
15		10	7.0	7.0	4.0	3.5	3.5
		20	12.5	12.5	7.5	7.5	6.5
		30	18.0	18.0	10.5	9.0	9.0
		40	23.5	23.5	13.5	11.5	11.5
		50	29.0	29.0	16.5	14.0	14.0
		60	34.5	34.5	20.0	17.0	17.0



BRACING PLAN

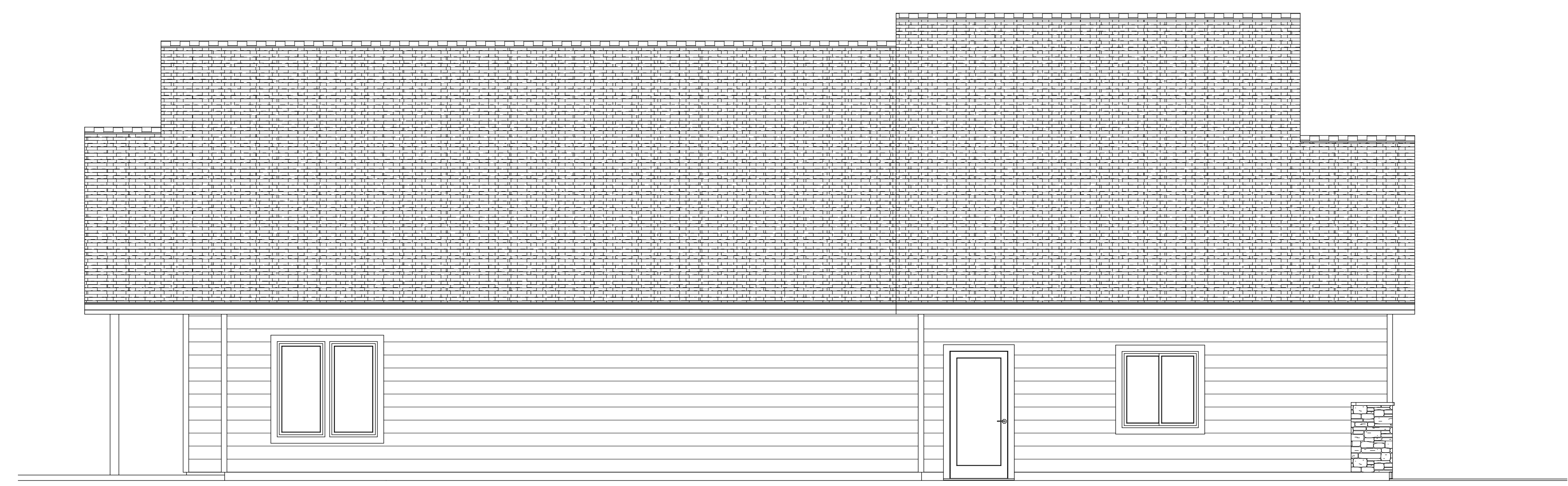
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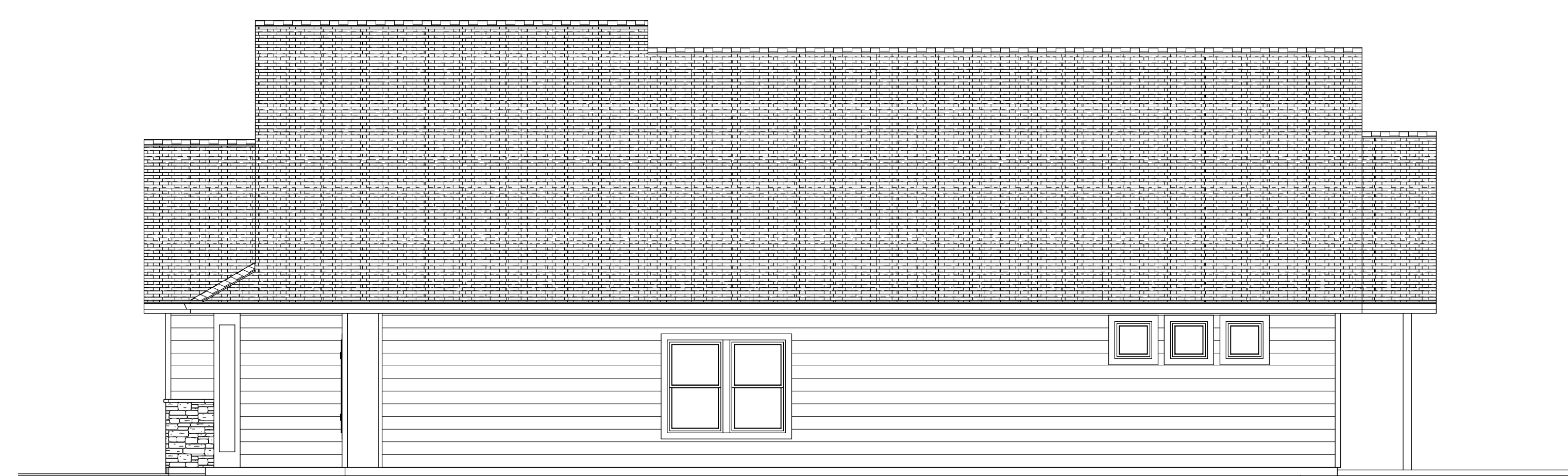
FRONT ELEVATION

SCALE: 1/4" = 1' - 0"



LEFT ELEVATION

SCALE: 1/4" = 1' - 0"



RIGHT ELEVATION

SCALE: 3/16" = 1' - 0"



REAR ELEVATION

SCALE: 1/4" = 1' - 0"